

November 29, 2012

TO: Mayor and City Council
Planning Commission
City Manager

From: Jeffery W. Gibson
Community Development Director

SUBJECT: Community Development Director Action for Following Request(s) for the week of:

November 26, 2012

REQUEST

EVENTS:

Applicant: James Paola (Classic Tent), representing
Magnetic Component Engineering, Inc.

APPROVED
11/28/12

Case No.: EVN12-000885
Location: 2830 Lomita Boulevard
Zoning: M-2

Summary: Request for approval to allow for an annual employee holiday party for 100 guests, to include a 40' x 60' temporary tent on 12/07/12 from 11:00AM to 3:00PM on property located in the M-2 Zone at 2830 Lomita Boulevard.

FENCE HEIGHT EXCEPTION:

Applicant: Jared Bockoff

APPROVED
11/28/12

Case No.: FEN12-00002
Location: 1736-1738 & 1740 Gramercy Avenue
Zoning: R-2

Summary: Request for an Administrative Approval of a Fence Height Exception to allow the construction of a new fence and gates measuring 8 feet in height from the existing grade. The proposed fence and gates are situated along the common side yard of 1736-1738 Gramercy Avenue and 1740 Gramercy Avenue and the fence returns along the rear property line of 1740 Gramercy Avenue, adjacent to the alley. Both properties are located in the Small Lot, Low-Medium Overlay District in the R-2 Zone.



City of Torrance, Community Development Department Jeffery W. Gibson, Director
 3031 Torrance Blvd., Torrance, CA 90503, Phone (310) 618-5990 Fax (310) 618-5829

TEMPORARY PARKING LOT EVENT PERMIT APPLICATION

NOV 19 2012

Parts I, II, and III to be completed by the Applicant. Please print or type.

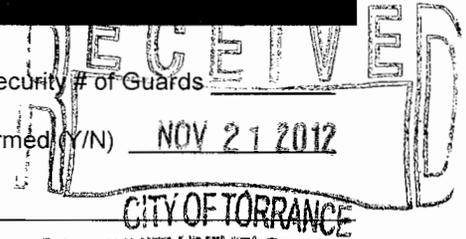
I. BUSINESS OWNER INFORMATION/PROPOSED EVENT LOCATION

Name of Applicant			
CLASSIC TENT			
Name of Business			
MAGNETIC COMPONENT ENGINEERING			
Property Address (proposed parking lot event location)		City	State Zip Code
2830 LOMITA BLVD			
Name of Business Owner		Contact Phone Number	Email
LINDA MONTGOMERIE		[REDACTED]	
Mailing Address (if different from above)		City	State Zip Code
SAME			

II. EVENT AND SITE INFORMATION

Check type of approval requested:

- Promotional Outdoor Event
 Pumpkin Sales Lot
 Security # of Guards
 Outdoor Gathering Of People
 Christmas Tree Sales Lot
 Armed (Y/N) NOV 21 2012
 Includes Amplified Sound
 Other (Please Describe):



Describe the proposed event: TEMPORARY TENT FOR HOLIDAY PARTY FOR EMPLOYEES, TENT LOCATED IN SIDE LOT.

Date(s) and Hours of event:

Date:	From: 12/7	To: 12/7	Hours:	From: 11 AM	To: 3 PM.
Set Up Date(s):	From: 12/06	To:	Clean Up Date:	12-7.	

Site Information:

Zoning	Total Lot Area (in sq. ft)	Total Number of Parking Spaces On-Site	Number Parking Spaces Displaced by the Event
M2	143,312		20

III. STANDARDS AND REQUIREMENTS

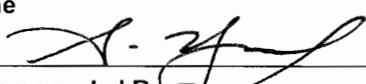
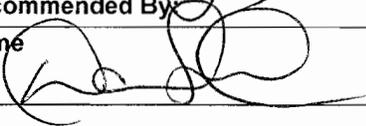
By signing this application form, I as the business owner and/or the property owner, hereby acknowledge that I have read and agree to comply with all applicable City standards regulating the proposed temporary use(s) and the following conditions of approval:

- No person will use any existing parking lot for a temporary parking lot sales event or a temporary parking lot special event, as defined in Sections 91.2.165 and 91.2.166 respectively, without first obtaining the prior approval of a Temporary Parking Lot Event Permit.
- The location of the proposed event is within an existing parking lot area and is being held by a permanent on-site business.
- The proposed event will not disrupt circulation of traffic within the parking lot or within the vicinity as determined by consideration of the location and design of on-site driveways; the on-site parking and circulation, including pedestrian movements; and the on-site lighting and traffic signage in relation to the location of the proposed parking lot event.

REMARKS Please log comments in Permit Plan	
Fire	ALL TENTS PROVIDE (2) EXITS. DO NOT OBSTRUCT FIRE ACCESS OR EQUIPMENT
Building	ANY TENT LARGER THAN 10'x12' REQUIRE SAFETY INSPECTION PERMITS & NO OBSTRUCTION ALLOWED @ H.C. PATHS.
Environmental	see attached
Police	

STAFF ASSESSMENT AND RECOMMENDATION (COMMUNITY DEVELOPMENT DEPARTMENT)

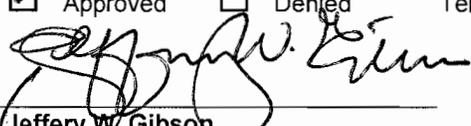
- The applicant has satisfied all the standards and requirements of the Permit. Therefore staff recommends approval of the Temporary Parking Lot Event Permit subject to the Standards and Requirements contained in Section III of this approval.
- The application does not meet the standards and requirements for issuance of a Temporary Parking Lot Event Permit and therefore staff recommends denial. The following standards/requirements were not met:
see attached

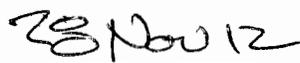
Assessment Made By:	
Name 	Title Planning Asst
Recommended By:	
Name 	Title Senior Planner

COMMUNITY DEVELOPMENT DIRECTOR APPROVAL

This request for a Seasonal Sales Permit is:

Approved Denied Temporary Parking Lot Permit Number: EVN12-00085


 Jeffery W. Gibson
 Community Development Director


 Date:

Decisions by the Community Development Director pertaining to a Temporary Parking Permit Lot Event Permit are appealable to the Planning Commission within five (5) calendar days following the above date of approval or denial.

Conditions Associated With
Case #: EVN12-00085

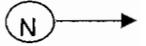
Condition Code	Title	Hold	Status	Status		Tag	Updated	
				Changed	By		Date	By

Building & Safety									
10	PLNG/ENV CONDITIONS	None	Not Met					11/27/2012	SY

- No encroachment permitted into public R-O-W, fire lane, or drive aisles/parking areas other than area(s) shown on attached plot plan.
- All event activities shall be contained within noted areas on attached plot plan.
- No blocking of any handicap access of parking spaces is permitted
- Clean up of the site shall take place per date/time on application and the site shall be returned to its previous state prior to the event.
- Prohibited signs include: A-frame or freestanding signs; bow or flag banners; signs attached to light or utility poles, trees or vehicles; persons holding signs.
- A banner may be used to advertise this event. Obtain a permit prior to installing the banner. The banner must not exceed 60sf and must be affixed securely to the the building wall.
- If amplified sound will be used, a separate approval and permit are required.

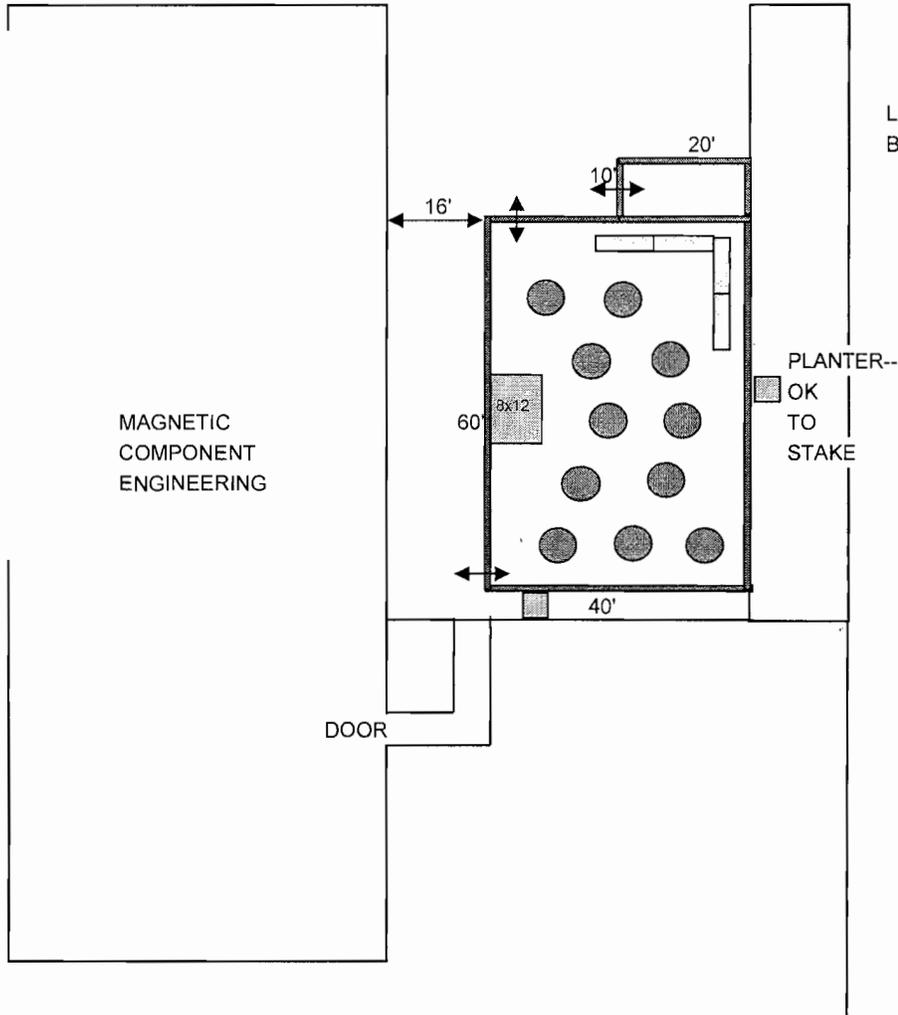
MAGNETIC COMPONENT ENGINEERING
 2830 LOMITA BLVD.
 TORRANCE, CA X--GARNIER & CRENSHAW

DELIVER 12/6/12 (ARRIVE 9-10AM)
 PICKUP 12/7/12 (4-4:30PM)



← DRIVEWAY →

↑
 LOMITA
 BLVD.
 ↓



- = 5'
 - = CLEAR WALL
 - = WHITE WALL
 - = 10' EXIT ON SLIDER
 - = 66" TABLE w/10 CHAIRS
 - = 8' TABLE
 - = 8' x 12' STAGE
 - = CONSOLE HEATER
- REVISED 11/15/12



MAGNETIC COMPONENT ENGINEERING, INC.

2830 Lomita Blvd., Torrance, CA 90505
(310) 784-3100 Fax: (310) 784-3192
www.mceproducts.com



To Whom it May Concern:

Our company will be having a holiday event on December 7, 2012 from 11:00 am to 3:00 pm. We will be putting a tent up in our front parking lot.

The install date will be 12/06/2012 and they will remove the tent on 12/07/2012 after 4pm. We will accommodate 100 guests for an employee luncheon.

Please allow Jimmy Paola of Classic Party Rentals, to obtain all the necessary permits on our behalf.

Please call me at [REDACTED] if you have any questions.

Regards,

A handwritten signature in black ink, appearing to read 'Linda Montgomerie', is written over a horizontal line. The signature is fluid and cursive, with a long, sweeping tail that extends to the right.

Linda Montgomerie



CITY OF TORRANCE

COMMUNITY DEVELOPMENT DEPARTMENT

FENCE HEIGHT EXCEPTION

Date: November 27, 2012
To: Jeffery W. Gibson, Community Development Director
From: Development Review Division
Applicant(s): Jared Bockoff
Case No.: FEN12-00002
Location: 1736-1738 & 1740 Gramercy Avenue
Zoning: R-2: Two-Family Residential (Small Lot, Low-Medium Overlay District)

Description of Subject Request: The applicant is requesting a Fence Height Exception to allow the construction of a new fence and gates measuring 8 feet in height from the existing grade. The proposed fence and gates are situated along the common side yard of 1736-1738 Gramercy Avenue and 1740 Gramercy Avenue and the fence returns along the rear property line of 1740 Gramercy Avenue, adjacent to the alley. Both properties are located in the Small Lot, Low-Medium Overlay District in the R-2 Zone.

The Fence Height Exception is permissible for one (1) or more of the following reasons:

- Enclosure of a private swimming pool or outdoor recreation area;
- Rear yard areas abutting commercial or multiple residential uses;
- Capping of a six (6) foot fence with less than an eight (8) inch cap or decoration;
- Fences constructed on terrain with a grade difference of one (1) foot fall in five (5) linear feet.

Comments: According to the applicant, the fence is intended to provide privacy and protection for the outdoor recreation areas and overall security of the property. The neighboring property owner to the north, 1736-1738 Gramercy Avenue has provided a written approval and it has been submitted along with the fence height exemption application.

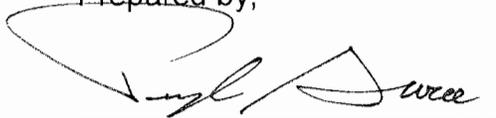
The property owners to the east across the alley at 1735 and 1739 Andreo Avenue were notified of the application. However, there are no written oppositions submitted from the adjacent property owners.

Based on the above findings staff recommends approval of FEN12-00002 with the following conditions:

1. That the total height of the fence and extensions shall not exceed 8-feet 0-inches; (Development Review)
2. Obtain a building permit for the construction of the fence and gates; (Building & Safety)
3. Justify with engineering calculations that the existing wall can be extended up; (Building & Safety)

Staff Recommendation: X Approval Denial

Prepared by,



Peerapol Suree, AICP
Planning Assistant

Recommended by,



Gregg Lodan, AICP
Planning Manager

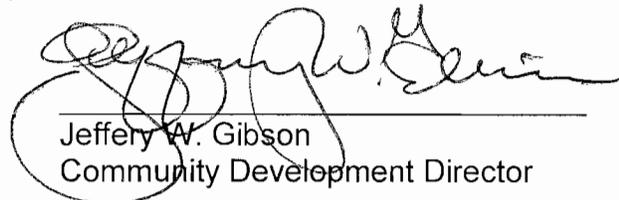
Attachments:

1. Site plan, elevations and letter from property owner (1736-1738 Gramercy Avenue)

This request for a Fence Height Exception (FEN12-00002) is ✓ APPROVED DENIED per Ordinance No. 2327, Section 92.13.1, Fences, Walls, Retaining Walls, and Hedges of the Torrance Municipal Code, Division 9.



DATE



Jeffery W. Gibson
Community Development Director

Decisions made by the Community Development Director are appealable to the Planning Commission within 21 calendar days following the above date of approval/denial.

DATE: November 27th, 2012
TO: Jeffery W. Gibson, Community Development Director
FROM: Development Review Division
SUBJECT: MIS12-00234 MINOR MODIFICATION (CUP89-69, MOD91-01, MIS92-566)
PERMIT – Phenomenex – Nozari + Nozari Architects

Request for approval of a Minor Modification of CUP89-00069, MOD91-00001 and MIS92-00566 to allow a 7,000 square foot expansion, remodel and consolidation of operational specialties within one structure, in conjunction with a façade remodel, on property located in the M-2 zone at 570 Madrid Avenue.

Applicant: Phenomenex – Nozari + Nozari Architects
Case No: MIS12-00234
Location: 570 Madrid Avenue
Zoning: M-2 (Heavy Manufacturing District)

The applicant, Phenomenex, is requesting approval of a Minor Modification to previous entitlements to allow 7,000 square foot expansion, remodel and consolidation of operational specialties within one structure. A Minor Modification Permit is required because the expansion and exterior modifications are in keeping with previous approvals.

On March 7, 1990, the Planning Commission approved Conditional Use Permit 89-69, allowing the development of a ten-building industrial business park located at the southeast corner of 208th Street and Madrid Avenue. On December 4, 1991, the Planning Commission subsequently approved a Modification of CUP89-0069, allowing the construction of an office/industrial facility on what is today 570 Madrid Avenue. The project underwent several design changes that required approval of a Minor Modification MIS92-0566 and was completed in 1993. The facility was occupied by a variety of industrial uses before being acquired by Phenomenex in 2007. Phenomenex is now pursuing the creation of an advanced research and development facility comprised of various operations currently located within various other Phenomenex facilities located in the immediate area. In addition, the company proposes a new façade to improve the aesthetics of the existing building.

The existing building is comprised of 3 levels. The first floor will be occupied by variety offices, laboratories, clean rooms, chemical storage and manufacturing areas. The existing mezzanine level will be expanded to accommodate increased raw material storage, office and restrooms amenities, weighing room and mechanical/HVAC support areas to support the lab and clean room environments that will exist within the building. The third floor will be occupied by equipment and raw material storage, additional labs, and offices with employee support areas. The mixture of office (9,786 sf), manufacturing (10,699 sf) and storage (6,527 sf) elements results in a total parking requirement of 65 stalls and 66 stalls are provided on the plan. The existing rear loading dock has been removed in this design to allow for additional parking row to be added in the rear of the structure and with other site modifications, the existing 55 stalls will be increased to meet current code.

The project also proposes new architectural projections and design elements to the existing structure, with a new color palette and material finishes. The front parking area has also been reconfigured to accommodate the most notable feature, which is the projection from the existing building line toward the proposed reconfiguration of the existing front drive-aisles. Originally, the proposal involved the projection extending over the existing drive-aisles configuration which created an access issue for the Torrance Fire Department. The Architect has revised the design of the drive-aisles and parking spaces so as to avoid the projection extending into the new drive-aisle configuration and included a proposed covered canopy that maintains a minimum clearance of 14 feet to satisfy the Fire Department. This projection forms a diamond shaped element perpendicular to Madrid Avenue and creates a new staircase system for the multiple levels, commencing along the north side of the projection for the first run of stairs, returning through the mezzanine level and then continuing up along the south side of the building terminating on the third floor. The projection is just under 33 feet in total height and extends 39 feet from the front building line into the parking area. The stairwell provides a minimum clearance height of 10 feet.

Staff notes that parking spaces 59 and 60 will need to maintain at least 24 feet of back-up, and may need to be shifted west into the landscape planter, to avoid the canopy posts from being an obstruction. Staff notes that in keeping with City Council promotion of alternative fuel infrastructure, a condition has been added that at least one (1) Level 2 Electric Vehicle Supply Equipment unit (otherwise known as EV-chargers) be provided on the site to the satisfaction of the Community Development Director. Conditions of approval have been added to address these items.

The project is of a quality and character that is compatible with the surrounding area and will not be materially detrimental to surrounding business, government and community services in the immediate vicinity.

Therefore staff recommends approval of the subject request subject to the following findings:

- a) That the proposed remodel is compatible with the uses permitted in the M-2 zone and previous entitlements granted for the property;
- b) That the proposed remodel will not impair the integrity and character of the zoning district because it will not affected the nature of operations for the uses that are permitted, remains a research and development industrial service that is consistent with the zone and area, and substantially complies with all of the applicable provisions of this Division;
- c) That the subject site is physically suitable for the proposed remodel as adequate parking is provided on-site to accommodate proposed occupancies and the proposal is utilizing the existing access points and has preserved on-site circulation patterns;
- d) That the proposed remodel remains compatible with the land uses presently on the subject property, as the remodel will better accommodate the consolidated company services and improve the aesthetics of the site;
- e) That the proposed remodel remains compatible with existing and proposed future land uses within the M-2 zone and the general area in which the facility is located because the area consists of a mixture of industrial uses and provide adequate parking under

Municipal Code restrictions;

- f) That the proposed remodel will encourage and be consistent with the orderly development of the City as provided for in the General Plan because the remodel improves the aesthetics of the property and retain conformance with municipal code development standards;
- g) That the proposed remodel will not discourage the appropriate existing or planned future use of surrounding properties because the site complies with applicable development standards in terms of parking and FAR, and are compatible with the current development trends in the similar zoned properties throughout the City;
- h) That the proposed remodel will not interfere with adequate provisions for water, sanitation, and public utilities and services as the site is being improved to ensure that the site is not detrimental to public health and safety;
- i) That the proposed remodel will continue to provide adequate provisions for public access to serve the property as on-site circulation has been preserved;
- j) The location, size, design, and operating characteristics of the proposed remodel of the existing structure will not be detrimental to the public interest, health, safety, convenience or welfare, or to the property of persons located in the area because the property will continue to be subject to previous conditions of approval placed on the project and will represent a significant improvement to the property and immediate area;
- k) That the proposed remodel will not produce any or all of the following results:
 - 1. Damage or nuisance from noise, smoke, odor, dust or vibration,
 - 2. Hazard from explosion, contamination or fire,
 - 3. Hazard occasioned by unusual volume or character of traffic or the congregating of large numbers of people or vehicles.

The applicant is advised that Code Requirements applicable to the project have been included as an attachment to the staff report, and are not subject to modification. This request fulfills the criteria for approving an Administrative Approval, per Torrance Municipal Code Section 92.28.1. Therefore, staff recommends approval subject to the following conditions:

- 1. That if this Administrative Approval is not implemented within one year after the approval, it shall expire and become null and void unless extended by the Community Development Director for an additional period, as provided for in Section 92.27.1 of the Torrance Municipal Code; (Development Review)
- 2. That a landscaping plan be submitted prior to issuance of any building permits, and shall be subject to approval by the Community Development Director. The plan shall provide state-of-the-art water saving irrigation system and/or drip irrigation and shall incorporate feature elements of adjacent properties to the satisfaction of the Community Development Director; (Development Review)

3. That the sod in the landscape planter in between parking spaces #42 and #43 shall be replaced with a more drought tolerant groundcover to the satisfaction of the Community Development Director; (Development Review)
4. That the applicant shall maintain all required parking space back-up distances to the satisfaction of the Community Development Director; (Development Review)
5. That the applicant shall locate an ideal placement for the installation and operation of at least two Level-2 Electric Vehicle Supply Equipment units (otherwise known as EV-charger) to the satisfaction of the Community Development Director; (Development Review)
6. That color and material samples shall be subject to the approval of the Community Development Director; (Development Review)
7. That the existing trash enclosure, shall be brought up to current NPDES code requirements and be either fitted, or reconstructed, with a solid roof or decorative trellis with solid underlayment to prevent illegal dumping and rain water intrusion; (Development Review)
8. That all roof equipment screening shall be architectural incorporated into the building design; (Development Review)
9. That all hazardous materials or chemicals shall be stored within the building and no exterior storage containers shall be permitted; (Development Review)
10. That the applicant shall submit to the Grading Division details on the removal of the existing truck well to determine grading requirements; (Building & Grading)
11. That the applicant shall obtain separate approval and a permit for any building signage installed; (Environmental)
12. That any roof or ground level equipment installed must be screened from view with materials that are compatible with the building; (Environmental)
13. That the applicant shall submit a noise study prior to issuance of Building permit verifying compliance with the Torrance Noise Ordinance; (Environmental)
14. That the Fire lane area surrounding the front projection shall be engineered and constructed to support Torrance Fire Department apparatuses to the satisfaction of the Torrance Fire Marshal; (Fire Prevention)
15. That the applicant shall provide details on storage and use amounts of hazardous materials; (Fire Prevention)
16. That the applicant shall provide storage heights and amount of square footage for review and approval to the satisfaction of the Torrance Fire Marshall; (Fire Prevention)

- 17. That the applicant shall submit for review and secure approval of a fire safety and evacuation plan, including both fire and lockdown provisions, to the satisfaction of the Torrance Fire Marshall prior to commencing operation; (Fire Prevention)
- 18. That the applicant shall complete all code requirements required by the Torrance Fire Department to the satisfaction of the Torrance Fire Marshall prior to commencing operation; (Fire Prevention)

Prepared by,



Danny Santana
Senior Planning Associate

Recommended by,

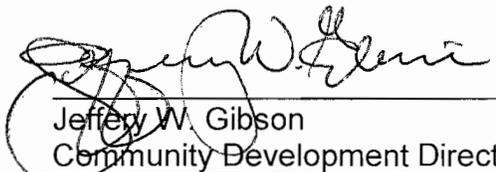


Gregg D. Lodan, AICP
Planning Manager

Attachments:

- 1. Code Requirements
- 2. Site Plan and Floor Plan

This request for a Minor Modification Permit 12-00234 has been APPROVED
 DENIED per Section 92.28.1 of the Torrance Municipal Code.



Jeffrey W. Gibson
Community Development Director

28 Nov 12
Date

Decisions made by the Community Development Director are appealable to the Planning Commission within fifteen (15) calendar days following the above date of approval or denial.

CODE REQUIREMENTS

The following is a partial list of code requirements applicable to the proposed project. All possible code requirements are not provided here and the applicant is strongly advised to contact each individual department for further clarification. The Planning Commission may not waive or alter the code requirements. They are provided herewith for information purposes only.

Building and Safety:

- Comply with State handicap requirements.
- Comply with State Energy requirements.
- Provide a Building Code analysis for type of occupancy and for allowable building area.
- Obtain all necessary permits.

Environmental:

- Comply with the Torrance Noise Ordinance.

Engineering:

- Dedicate additional street easement for additional sidewalk that jogs behind the property line at the ramps of the driveways prior to the issuance of Building Permits.

Fire:

- Modifications to the existing fire protection systems, including sprinklers and fire alarm systems, shall require review and approval by the Torrance Fire Department.